

COMMUNITY PLANNING & DEVELOPMENT MONTHLY REPORT

APRIL, MAY AND JUNE, 2020

DEPARTMENT OVERVIEW & STATISTICS

Planning:

The Planning Department continues to work on the following development applications: 4 Subdivision Applications, 1 condominium application, 2 Official Plan Amendment applications, 9 Zoning By-Law Amendments, 6 applications for Site Plan Approvals, 1 consent applications, 9 minor variance applications and 2 Niagara Escarpment Development Permit applications.

The three LPAT appeals relating to the Saffron Meadows Official Plan, Zoning By-law Amendment and Draft Plan of Subdivision approval have been withdrawn by the appellant. There are 2 LPAT appeals relating to 1440 Pelham Street Zoning By-law Amendment and Site Plan Control applications; one LPAT appeal relating to Development Charges By-law Amendment; and one LPAT appeal relating to the extension of the Interim Control By-law that are pending. The court application by Woodstock Biomed with regard to the initial Interim Control By-law is also pending and the responding material was filed with the Courts.

There were no public meetings were held during the second quarter due to COVID-19 pandemic. Public meetings are resuming in the third quarter, however.

Building:

Due to the hold placed on permit issuance during the COVID-19 pandemic, the building department was unable to issue permits from March 30 to May 19, 2020. During this period, the building department continued to review applications and plans received prior to the March 30th date, and continued with residential building inspections. The building department was able to conduct a total of 343 inspections since the 2020 first quarterly report which is consistent with seasonal trends.

Building Activity Statistics from April 1, 2020 – June 30, 2020:

Months	All Building Permits	Inspections	Demolition Permits	Commercial Building Permits		Estimated Total Value of Construction	New Dwelling Units
					Sq.Ft.		
April 2020:	8	117	2	1	5,640	\$ 711,550	-
May 2020:	30	70	2	2	1,305	\$ 7,828,800	14
June 2020:	<u>24</u>	<u>156</u>	<u>1</u>	<u>1</u>	<u>3,767</u>	<u>\$ 3,971,600</u>	<u>7</u>
TOTAL:	62	343	5	4	10,712	\$12,511,950	21

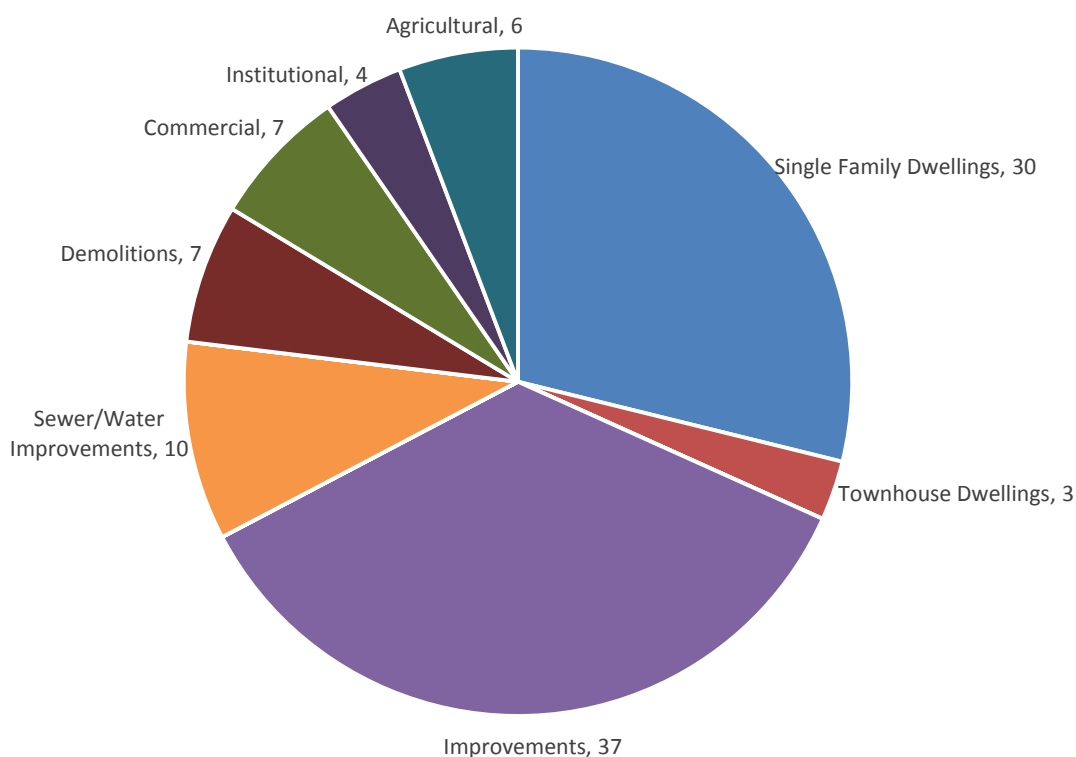
Building Permit Time Frames from April 1, 2020 – June 30, 2020:

Category of Building Type & Required No. of Days to issue or stop process	No. of Permits Issued	Average No. of Days to Issue Permit
House: 10 days	49	6
Small Building: 15 days	8	9
Large Building: 20 days	5	10
Complex Building: 30 days	-	-
Total:	62	

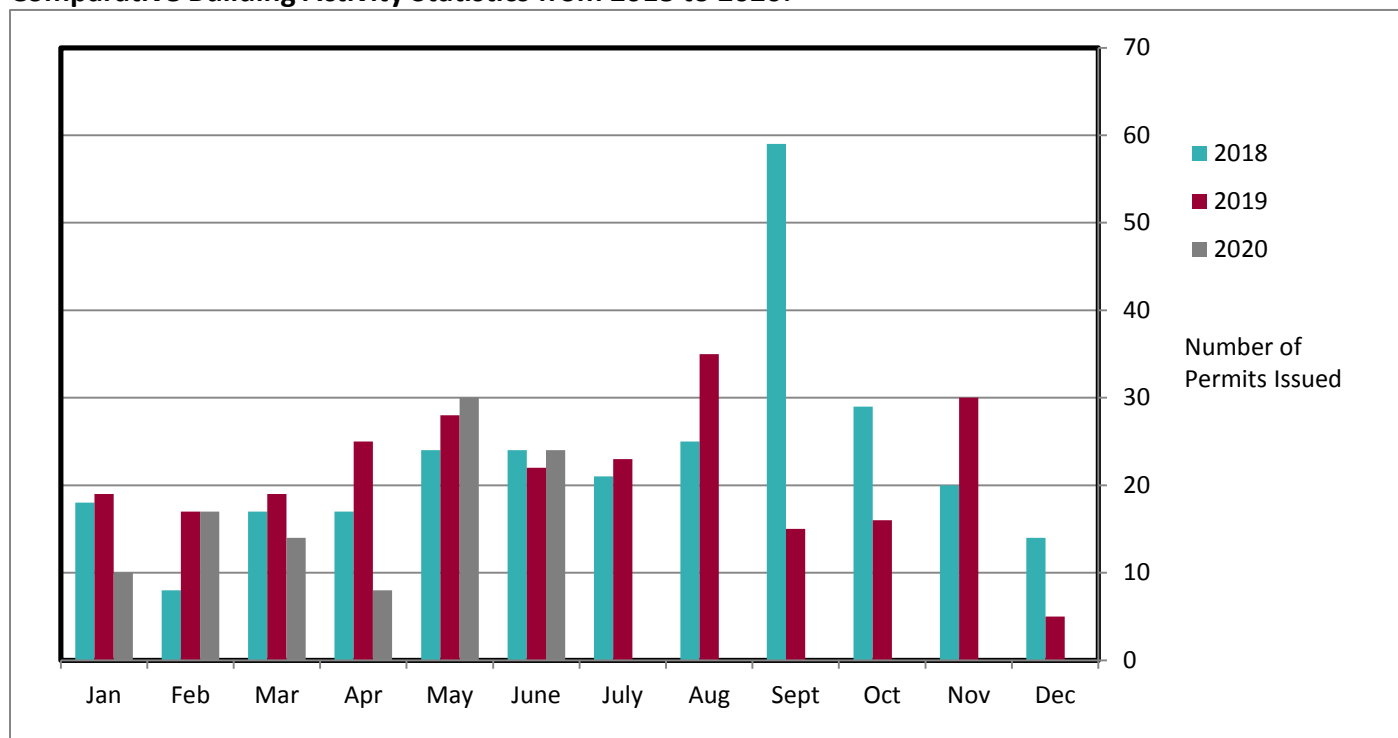
Major Building Projects Over \$250,000 (excluding single family dwelling units): 2

- \$285,000 for an office building alteration
- \$340,000 for a farm building addition

Building Permit Breakdown (Year to Date):



Comparative Building Activity Statistics from 2018 to 2020:



Cannabis

Work continued by Meridian Planning Consultants Inc. on the proposed Official Plan and Zoning By-law amendment. The public was notified of the proposed draft planning amendments and were they were circulated for public review and input. Meetings were held with the Region of Niagara staff in an effort to resolve issues and Meridian Planning Consultants made further revisions to the proposed Official Plan amendment and Zoning By-law amendment. The draft documents were presented to Council on July 13, 2020 for final approval.

Municipal Drainage

Drain maintenance occurred this spring with the removal of a number of beaver dams and beavers that were causing damage to properties. A total of 12 beavers were removed.

Proposed Changes to the Growth Plan for the Greater Golden Horseshoe

The Province has initiated an update to A Place to Grow: Growth Plan for the Greater Golden Horseshoe. This update will include changes to the population and employment forecasts, the Plan horizon year for planning has been extended to 2050, aggregates framework, changes to employment lands near transit and other policy revisions that support the objectives of increasing housing supply, creating more jobs, attracting

business investments and better aligning infrastructure. The government is also consulting concurrently on a proposed new Land Needs Assessment Methodology for the Greater Golden Horseshoe ('Methodology') which supports implementation of A Place to Grow. The proposed amendment to the Growth Plan for the Greater Golden Horseshoe aligns with the new Provincial Policy Statement which took effect May 2020.

PROJECTS

East Fenwick Secondary Plan: The Developers Group continue to work on Environmental Impact Study which will inform East Fenwick Secondary Plan work.

CONSTITUENT CONCERNS & ISSUES ARISING

PERSONNEL

The following staff has received training to update skills and development in their related fields:

- The Director attended:
 - OPPI – Bill 189: The Coronavirus Support and Protection Act, 2020 and LPAT Update
 - OPPI – Annual Update on Planning System
 - Congress of New Urbanism Virtual Conference
- The Senior Planner attended:
 - The Greenbelt Foundation's Examining the Role of Green Infrastructure & the Greenbelt's Urban River Valleys During Extreme Heat;
 - Opportunities to Grow Southern Ontario's Fruit and Vegetable Sector Webinar;
 - OPPI – Bill 189: The Coronavirus Support and Protection Act, 2020 and LPAT Update; and
 - GroupHealth's Mental Health during COVID-19
- The Planner attended The Greenbelt Foundation's Examining the Role of Green Infrastructure & the Greenbelt's Urban River Valleys During Extreme Heat.
- The Chief Building Official and Building Inspectors attended:
 - RSM Building Consultant's Exiting Through Lobbies, Engineered Floor Systems, Cannabis Facilities, Part 10 & 11 of the Ontario Building Code, Mezzanines, and Truss Bracing Webinars.
- A Building Inspector completed Office Ergonomics training course.

GRANTS, CONTRACTS, RFPs & AGREEMENTS

Sharing of Building and Municipal Drainage Services with Port Colborne, West Lincoln and Wainfleet. This contract was awarded to GM Blue Plan and the draft report was provided June 17, 2020.

MEETINGS

On-going meetings:

- Development Coordinating Meeting
- Weekly Cannabis Control Committee Meetings
- OBOA Niagara Chapter Meetings
- EOC Meetings
- Pre-Consultation Meetings
- SLT Meetings
- Joint Health & Safety Committee Meetings

In addition to the various conversations with property owners and consultants regarding potential development applications, Staff have been involved in meetings regarding the following substantive matters:

- All Staff meeting
- CIP Coordinators Meeting
- Area Planners Meetings
- Office Ergonomics Training
- Inter-municipal Shared Services Meetings
- Cannabis Control Committee Meetings

**Community Planning
& Development**